

MIAMI BEACH

PLANNING DEPARTMENT

Staff Report & Recommendation

Planning Board

TO: Chairperson and Members
Planning Board

DATE: November 24, 2015

FROM: Thomas R. Mooney, AICP
Planning Director



SUBJECT: **Ordinance Amendment**
File No. 2298 – Single Family Regulations

REQUEST

File No. 2298 - AN ORDINANCE OF THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA, AMENDING THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF THE CITY OF MIAMI BEACH, FLORIDA, BY AMENDING CHAPTER 142, "ZONING DISTRICTS AND REGULATIONS," DIVISION 2, "RS-1, RS-2, RS-3, RS-4 SINGLE-FAMILY RESIDENTIAL DISTRICTS," AT SECTIONS 142-105, 142-106, AND 142-108, BY MODIFYING, SIMPLIFYING, AND CLARIFYING HOW LOT COVERAGE, UNIT SIZE, ROOF DECK, HEIGHT, SETBACK, AND COURTYARD REQUIREMENTS ARE APPLIED IN THE SINGLE FAMILY RESIDENTIAL DISTRICTS; ELIMINATING CERTAIN DESIGN REVIEW WAIVERS FOR SECOND FLOOR VOLUME AND SIDE ELEVATION REQUIREMENTS; PROVIDING CODIFICATION; REPEALER; SEVERABILITY; AND AN EFFECTIVE DATE.

RECOMMENDATION

Transmit the proposed ordinance amendment to the City Commission with a favorable recommendation.

HISTORY/ BACKGROUND

On July 8, 2015, at the request of Commissioner Joy Malakoff, the City Commission referred this item to the Land Use and Development Committee (Item C4C).

On July 29, 2015 the Land Use and Development Committee discussed this item and continued the discussion to the September 9, 2015 meeting with the following recommendations:

- 1) The Planning Department shall provide case studies of recently approved homes to measure the impact of the new regulations; and
- 2) The Planning Department shall conduct small, focus group meetings with various stakeholders regarding the proposed Ordinance.

Between August 26th and 27th the Planning Department held four focus group meetings, including two meetings for homeowners, one for architects, and one for developers, realtors, and attorneys (See attached summary).

Additionally, Planning staff prepared a photographic presentation illustrating homes recently constructed under the Ordinance adopted in February 2014 (See attached 'Exhibit A').

Planning staff has also provided two case studies of homes that have previously been reviewed and approved by the Design Review Board, which show how the design would be reviewed and impacted in terms of lot coverage and unit size based upon the proposed code changes (See attached 'Exhibit B').

Lastly, staff has provided a basic graphic indicating the relative proportion that a 5% reduction in lot coverage represents for two example parcels. (See attached Exhibit C').

On October 14, 2015, the City Commission referred the item to the Planning Board (Item R9H). The City Commission also recommend that the additional modifications noted by the Commission be discussed and considered by the Planning Board.

REVIEW CRITERIA

Pursuant to Section 118-163 of the City Code, in reviewing a request for an amendment to these land development regulations, the board shall consider the following when applicable:

1. Whether the proposed change is consistent and compatible with the comprehensive plan and any applicable neighborhood or redevelopment plans.

Consistent – The proposed ordinance amendment is consistent with the Goals, Objectives, and Policies of the Comprehensive Plan.

2. Whether the proposed change would create an isolated district unrelated to adjacent or nearby districts.

Not applicable – The proposed amendment does not modify district boundaries.

3. Whether the change suggested is out of scale with the needs of the neighborhood or the city.

Consistent – The proposed Ordinance aims to reduce the overall lot coverage and unit size of new home construction in order to be more in scale with existing neighborhood context.

4. Whether the proposed change would tax the existing load on public facilities and infrastructure.

Consistent – The proposed ordinance will not increase the level of intensity of development and will not affect the load on public facilities.

5. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

Not applicable – The proposed change does not modify existing district boundaries.

6. Whether changed or changing conditions make the passage of the proposed change necessary.

Consistent – The proposed changes are required in order to address various factors, including higher flood elevation requirements, increasing concerns with stormwater management, and neighborhood compatibility.

7. Whether the proposed change will adversely influence living conditions in the neighborhood.

Consistent – The proposed change will not adversely affect living conditions in the neighborhood.

8. Whether the proposed change will create or excessively increase traffic congestion beyond the levels of service as set forth in the comprehensive plan or otherwise affect public safety.

Consistent – The proposed change will not create or increase traffic congestion.

9. Whether the proposed change will seriously reduce light and air to adjacent areas.

Consistent – The proposed ordinance will result an overall reduction in mass for new single family homes, which in turn will increase light and air compared to the current regulations.

10. Whether the proposed change will adversely affect property values in the adjacent area.

Consistent – The proposed change should not adversely affect property values in the adjacent areas.

11. Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accordance with existing regulations.

Consistent – The proposed change should not be a deterrent to the improvement or development of properties in the City.

12. Whether there are substantial reasons why the property cannot be used in accordance with existing zoning.

Not Applicable

13. Whether it is impossible to find other adequate sites in the city for the proposed use in a district already permitting such use.

Not applicable.

ANALYSIS

In 2006 the first major comprehensive revisions to the single family home development regulations were adopted by the City Commission in order to establish limitations on lot coverage, unit size, building height and setback requirements. The purpose of these regulations was to help ensure that new construction was compatible with the established character of the single family neighborhoods in Miami Beach.

On February 12, 2014, the City Commission adopted the next comprehensive revision to the

single family development regulations, incorporating numerous modifications including limitations on lot coverage, unit size, roof decks, lengths of 2-story side elevations, and limitations on the percentage of a home's second floor volume.

Each of these, as well as subsequent minor amendments to the single family development regulations, has resulted in reductions in the overall size of homes, but has also created a lengthy and complicated review process for single family homes. The primary goal for many of the additional regulations was to limit the overall massing of home construction to help ensure compatibility with the surrounding single family neighborhoods. In order to further this policy objective, and taking into consideration the evolving requirements for higher floor and grade elevations, an ordinance has been drafted to provide additional mitigation measures for new single family homes.

In addition to proposed reductions in lot coverage, unit size and setbacks, as well as an increase in front yard pervious area requirements, the proposed ordinance seeks to simplify the regulations to give architects more design latitude, as well as expedite permit review. The following is a summary of the current requirements and proposed modifications. The proposed changes are intended to ensure that new home construction is compatible with the character of existing single family neighborhoods, while greatly simplifying the regulatory requirements and allowing for a faster review time by City staff.

Lot Coverage (Two Story Home)

The maximum lot coverage is proposed to be reduced across all single family districts from 30% to 25%. Additionally the regulations addressing exceptions have been substantially simplified. Basically all areas of the building footprint, including any covered projections, will count toward lot coverage, with the exception of roof overhangs and eyebrows three feet in depth or less. This modification will help ensure that pervious landscaped open areas are maintained, which will enhance drainage and on-site water retention. Extensive balconies and terraces add to the perceived mass of a home, and are still allowed, but limited based on their inclusion in the lot coverage calculations.

Current Code:

- Maximum 30%
- Lot coverage is calculated from the exterior face of exterior walls and the exterior face of exterior columns on the ground floor of all principal and accessory buildings, or portions thereof.
- Internal courtyards, which are open to the sky, but which are substantially enclosed by the structure on three or more sides are included in the lot coverage calculation
- Outdoor covered areas, such as, but not limited to, loggias, covered patios, pergolas, etc., that are open on at least two sides, and not covered by an enclosed floor above are not be included in the lot coverage calculation

Proposed Ordinance:

- Maximum 25%
- Any portion of the property open to the sky is not included in the lot coverage with the exception of courtyards that are enclosed on 4 sides, which are counted in the lot coverage.
- Outdoor covered areas are included in the lot coverage calculations, with

the exception of roof overhangs and eyebrows that do not project more than 3 feet from an exterior wall.

Lot Coverage (One Story Home)

In order to encourage single story home construction, which will be more in character with lower scaled older housing stock, lot coverage for a single story home is maintained at 50%. However, the maximum height is proposed to be reduced to help ensure compatibility with surrounding neighborhoods. As new homes must be constructed above the minimum flood elevation, even a new one story home often has the appearance of being the same height as an older two story home.

Current Code:

- Maximum = 50%
- In order to be considered a one story structure the maximum height shall not exceed 18 feet for a flat roofed structure and 21 feet for a sloped roof structure
- For five percent of the lot coverage, the height may be increased up to 24 feet for a single flat roof structure or 27 feet for a single sloped roof structure (measured to the mid-point of the slope). The length of any wall associated with this higher height shall not exceed 25 feet.

Proposed Ordinance:

- Maximum = 50%
- Roof heights lowered to 15 feet for a flat roofed structure and 18 feet for a sloped roof structure.
- Elimination of the allowance for a portion of the house to be constructed as a 2-story home which allows retaining the higher lot coverage allowance for a single story home.

Unit Size

The proposed ordinance would reduce the maximum unit size in all single family districts to 45%. With the inclusion, as proposed, of balconies and terraces in the reduced lot coverage calculation of 25%, including portions in the unit size will no longer be necessary. Further, with the lot coverage reduced to 25%, the 70% limitation of the second floor to first floor volume is also no longer needed. The proposed reduction in unit size to 45% is also closer to the city-wide average unit size of approximately 31%, as well as the average unit size for new home construction over the last year.

Current Code:

- Maximum = 50%
- The portion of covered terraces, breezeways, and open porches exceeding a projection of 10 feet from an exterior wall are included in the unit size.
- The portion of covered unenclosed balconies exceeding a projection of six feet from an exterior wall are included in the unit size.
- For two story homes with an overall lot coverage of 25 percent or greater, the physical volume of the second floor shall not exceed 70 percent of the first floor of the main home, inclusive of any enclosed parking structure.

Proposed Ordinance:

- Maximum = 45%
- Covered terraces, breezeways, and open porches are not included in the unit size, regardless of depth (however they are now included in lot coverage as noted above).

- Balconies are not included in unit size regardless of depth (however they are now included in lot coverage as noted above).
- With the reduction in maximum lot coverage the requirement that the second floor shall not exceed 70% of the first floor has been removed.

Roof Decks

The proposal clarifies that swimming pools, spas, whirlpools, hot tubs and other water features are included in the maximum 25% roof deck area in order to ensure that a combined pool and deck area does not result in a nuisance to surrounding neighbors.

Two story Side Elevation Open Space Requirement

To balance the reduction in overall lot coverage and unit size, and inclusion of balconies and terraces in the lot coverage calculations, the two story side elevation open space requirement has been simplified. The overall intent and required square footage remains the same.

Setbacks Front:

In order to mitigate the height of two story homes, which, in some instances may be elevated seven feet or more from the street level to reach the required flood elevation, the mandatory front setback has been increased 10 feet and the minimum pervious area has been increased from 35% to 50%. A single story home could still be constructed with a front setback of 20 feet, but a two-story home would require a setback of 30 feet, regardless of the width of the 2nd floor and with no ability for the DRB to waive the requirement. The additional setback and pervious area requirement will also allow more depth to transition between a lower street or sidewalk elevation and the minimum flood elevation.

Current Code:

- The second floor of two story structures shall be setback a minimum of 10 additional feet from the required front setback line, however up to 50% of the developable width of the lot may encroach forward to the 20 foot setback line through staff review. The HPB or DRB may approve a waiver to this requirement.
- At least 35 percent of the required front yard area and side yard facing a street shall be sodded or landscaped pervious open space.

Proposed Ordinance:

- Only one-story structures may be located at the minimum front yard setback line.
- The entire portion of a two-story structure shall be setback an additional 10 feet from the required front yard setback. Waiver from the DRB or HPB has been removed.
- At least 50 percent of the required front yard area and side yard facing a street shall be sodded or landscaped pervious open space.

Setbacks Side:

Side setback requirements are proposed to be increased slightly for lots over 60 feet in width, but less than 100 feet in width, in order to better mitigate the higher height from adjoining properties. For example, under the current code, a house could be constructed on a 75-foot wide lot with interior side setbacks of 7.5 feet and 11.25 feet. With the proposed change, the required setbacks would be 10 feet on both sides. This change also helps to center homes on a lot by increasing the minimum setback to 10 feet for lots larger than 60 feet in width.

Current Code:

- Sum of the side yards shall be at least 25% of the lot width.

- For lots greater than 60 feet in width the minimum setback is 7.5 feet

Proposed Ordinance:

- Sum of the side yard requirement shall remain the same.
- For lots greater than 60 feet in width the minimum setback is 10 percent of the lot width or 10 feet whichever is greater.

Modifications to Section 142-108

The provisions for the demolition of single family homes outside of historic districts have been slightly modified to reference the changes in the remainder of the Ordinance.

Additional Recommendations

At the request of the Land Use Committee, a notice of this referral discussion was sent to all single family homeowners. Pursuant to the suggestions of the various focus groups, as well as the discussion at the September 9, 2015 Land Use Committee meeting, the following was also recommended for further discussion and potential inclusion within the proposed ordinance:

- 1) Allowing single story garage structures limited to 14 feet in height, as measured from adjusted grade, to be constructed with a 20 foot front setback, and limited to 500 square foot in size.
- 2) The front of the home should be designed to maintain a one-story volume and the greater two story mass should be towards the rear of the site.
- 3) The maximum projection for overhangs, without having to count in lot coverage, could be increased in rear and side street yards, from the proposed limit of three feet to six feet or eight feet. This is a reasonable adjustment that would not result in a significant increase in building mass.
- 4) Different unit size and lot coverage regulations for neighborhoods and districts, based upon lot size, should be explored. Attached to this memo is a map of the single family districts in the City, broken down into lot size increments (See attached 'Exhibit D'). There is a clear distinction for RS-1 zoned lots (virtually all over 20,000 sq ft) and RS-4 zoned lots (virtually all under 10,000 sq ft). However, RS-2 & RS-3 zoned properties are not as consistent. For the most part RS-2 and RS-3 properties are between 10,000 sq ft and 20,000 sq ft, but there are quite a few in excess of 20,000 sq ft. If there was to be a distinction made for unit size/lot coverage based upon lot size, 11,000 square feet appears to be the dividing line, as it would take into account anomalies involving lots just over 10,000 square feet in size.
- 5) The requirement for green roofs and other tangible measures to increase overall resiliency, such as minimum LEED certification, could be required for any increase above the proposed 25% maximum lot coverage and 45% unit size thresholds.

Finally, a number of single family home projects have been, and continue to be, in the development process, and may conflict with the proposed modifications to the development regulations. As such, the incorporation of an 'applicability' provision is recommended, so as not to penalize persons who have relied on the existing regulations prior to the adoption of the subject Ordinance. This reliance is indicated by their preparing and filing applications for land use board approval or building permits prior to Planning Board action. In this regard, the following exceptions clause is recommended:

SECTION ____ . EXCEPTIONS.

This ordinance shall not apply to:

1. Anyone who filed an application for Historic Preservation Board or Design Review Board Approval with the Planning Department on or before November 24, 2015; or
2. Anyone who obtained a Building Permit Process Number from the Building Department on or before November 24, 2015.

SUMMARY

The proposal attempts to strike a balance between better mitigating the impacts of new single family construction within the City's established context of smaller homes, and providing for the flexibility to design and build new homes that accommodate the modern needs of home owners. In this regard, given the mandatory requirements for higher base flood and grade elevations, staff believes that the proposal will allow for more breathing room along the most critical perimeters of new homes.

The proposed ordinance will also simplify the existing development regulations. In addition to reducing the amount of time that staff and project architects spend on deciphering and interpreting the rules, as well as expediting the review process, the proposed changes will give greater architectural freedom and latitude to the designers of the new homes, as the proposed regulations are far less prescriptive.

As the proposed ordinance is scheduled for the December 9th City Commission agenda, staff would strongly recommend that the Board make a recommendation to the City Commission on November 24th, including taking into conderation the recommendations of the Land Use and Development Committee as noted above.

RECOMMENDATION

In view of the foregoing analysis, staff recommends that the Planning Board transmit the proposed ordinance amendment to the City Commission with a favorable recommendation. If there is consensus among the Board on any or all of the additional recommendations noted herein, it is further suggested that they be incorporated into the Board's recommendation.

TRM/MAB

F:\PLAN\SPLB\2015\11-24-15\2298 - ORD - Single Family Home Amendments\2298 -SFR Regs - PB Staff Report 11-24-2015.docx

Single Family Regulations – Lot Coverage, Unit Size, Height, Setbacks, and Courtyards

ORDINANCE NO. _____

AN ORDINANCE OF THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA, AMENDING THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF THE CITY OF MIAMI BEACH, FLORIDA, BY AMENDING CHAPTER 142, “ZONING DISTRICTS AND REGULATIONS,” DIVISION 2, “RS-1, RS-2, RS-3, RS-4 SINGLE-FAMILY RESIDENTIAL DISTRICTS,” AT SECTIONS 142-105, 142-106, AND 142-108, BY MODIFYING, SIMPLIFYING, AND CLARIFYING HOW LOT COVERAGE, UNIT SIZE, ROOF DECK, HEIGHT, SETBACK, AND COURTYARD REQUIREMENTS ARE APPLIED IN THE SINGLE FAMILY RESIDENTIAL DISTRICTS; ELIMINATING CERTAIN DESIGN REVIEW WAIVERS FOR SECOND FLOOR VOLUME AND SIDE ELEVATION REQUIREMENTS; PROVIDING CODIFICATION; REPEALER; SEVERABILITY; AND AN EFFECTIVE DATE.

WHEREAS, the regulation of additions and new construction in single family districts is necessary in order to ensure compatible development within the built character of the single-family neighborhoods in the City; and

WHEREAS, new homes and additions that are compatible with the prevailing character of existing residential neighborhoods should be encouraged and promoted; and

WHEREAS, the identity, image and environmental quality of the City should be preserved and protected; and

WHEREAS, the privacy, attractive pedestrian streetscapes and human scale and character of the City’s single-family neighborhoods, are important qualities to protect; and

WHEREAS, the City desires to have new single family construction utilize a Low Impact Development (LID) approach in order to capture and retain on site, 95th percentile average annual storm event rainfall; and

WHEREAS, the City desires to have new single family construction incorporate LID/Green Infrastructure into the overall landscape and site plan design for stormwater quality as part of a comprehensive stormwater management system; and

WHEREAS, these regulations will accomplish these goals and ensure that the public health, safety and welfare will be preserved in the City’s single-family districts.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COMMISSION OF THE CITY OF MIAMI BEACH, FLORIDA:

SECTION 1. That Section 142-105, “Development regulations and area requirements”, is hereby amended, as follows:

Sec. 142-105. – Development regulations and area requirements.

*

*

*

(b) The development regulations for the RS-1, RS-2, RS-3, RS-4 single-family residential districts are as follows:

(1) *Lot area, lot width, lot coverage, unit size, and building height requirements.* The lot area, lot width, lot coverage, and building height requirements for the RS-1, RS-2, RS-3, RS-4 single-family residential districts are as follows:

Zoning District	Minimum Lot Area (square feet)	Minimum Lot Width (feet)*	Maximum Lot Coverage for a 2-story Home (% of lot area)**	Maximum Unit Size (% of Lot Area)	Maximum Building Height, which shall not exceed two stories above the minimum flood elevation in all districts***
RS-1	30,000	100	30% <u>25%</u>	50% <u>45%</u>	28 feet - flat roofs. 31 feet - sloped roofs.
RS-2	18,000	75	30% <u>25%</u>	50% <u>45%</u>	
RS-3	10,000	50 Oceanfront lots. 60 - All others	30% <u>25%</u>	50% <u>45%</u>	24 feet - flat roofs. 27 feet - sloped roofs. May be increased up to 28 feet for flat roofs and 31 feet for sloped roofs when approved by the DRB or HPB, in accordance with the applicable design review or appropriateness criteria.
RS-4	6,000	50	30% <u>25%</u>	50% <u>45%</u>	24 feet - flat roofs. 27 feet- sloped roofs.
		*Except those lots fronting on a cul-de-sac or circular street as defined in lot width	**Single story homes shall follow the requirements of section <u>142-105(b)(4)b.</u> <u>142-105(b)(5)b.</u>		*** Height shall be measured from the minimum required flood elevation for the lot, measured to the top of the structural slab for a flat roof and to the mid-point of the slope for a sloped roof. Single story homes shall follow the requirements of section <u>142-105(b)(4)b</u> <u>142-105(b)(5)b.</u>

- (2) *Maximum number of stories.* The maximum number of stories shall not exceed two above the minimum flood elevation.
- (3) *[Limitation on contiguous lots.]* No more than two contiguous lots may be aggregated, with the exception of the following:
- a. Lot aggregation for the purpose of expanded yards, or for the construction of accessory pools, cabanas, tennis courts, and similar accessory structures, when detached from the main home with a minimum separation of 15 feet, which may be aggregated to no more than three contiguous lots; or
 - b. Lot aggregation for the construction of a new home located in the middle of a site consisting of three lots, provided the sum of the side yard setbacks of the main structure are equivalent to the width of the smallest of the three aggregated lots, and the overall unit size and lot coverage of the main home shall be based upon the combined size of the largest two lots.
- (4) *Unit size requirements.*
- a. Minimum unit size: 1,800 square feet.
 - b. For purposes of this subsection, unit size means the sum of the gross horizontal areas of the floors of a single-family home, measured from the exterior faces of exterior walls. However, the unit size of a single-family home shall not include the following, unless otherwise provided for in these land development regulations:
 1. Uncovered steps.
 2. Attic space, providing structural headroom of less than seven feet six inches.
 3. ~~Those portions of covered terraces, breezeways, or open porches, that do not project more than ten feet from the main home building(s).~~
 4. ~~Single-story covered terraces and porches, which, with the exception of supporting structures, are open on at least three (3) sides, and are part of a detached single story accessory structure located within a rear yard, provided such terrace or porch does not exceed two percent (2%) of the lot area.~~ ~~Single-story covered terraces and porches, which, with the exception of supporting structures, are open on at least three (3) sides, and are part of a detached single story accessory structure located within a rear yard, provided such terrace or porch does not exceed two percent (2%) of the lot area.~~
 5. Enclosed floor space used for required off-street parking spaces (maximum 500 square feet).
 6. ~~Single-story covered terraces and porches, which, with the exception of supporting structures, are open on at least three (3) sides, and are part of a detached single story accessory structure located within a rear yard, provided such terrace or porch does not exceed two percent (2%) of the lot area.~~
 6. ~~Those portions of covered exterior unenclosed private balconies, that do not project more than six feet from the building.~~

- c. ~~For two-story homes with an overall lot coverage of 25 percent or greater, the physical volume of the second floor shall not exceed 70 percent of the first floor of the main home, inclusive of any enclosed parking structure. The DRB or HPB may forego this requirement, in accordance with the applicable design review or appropriateness criteria.~~

*

*

*

(5) *Lot coverage (building footprint).*

- a. *General.* For lots aggregated after September 24, 2013, when a third lot is aggregated, as limited by subsection 142-105(b)(3), the calculation of lot coverage shall be determined by the two lots on which the house is located.
- b. *One-story structures.* ~~One-story structures may exceed the maximum lot coverage noted in subsection 142-105(b)(1) above, through staff level review and shall be subject to the setback regulations outlined in section 142-106, but~~ In no instance shall the building footprint of a one-story structure exceed 50 percent of the lot area. For purposes of this section, a one-story structure shall not exceed ~~48~~ 15 feet in height for flat roof structures and ~~24~~ 18 feet for sloped roof structures (measured to the mid-point of the slope) as measured from the minimum flood elevation. ~~However for five percent of the lot coverage, the height may be increased up to 24 feet for a single flat roof structure or 27 feet for a single sloped roof structure (measured to the mid-point of the slope). The length of any wall associated with this higher height shall not exceed 25 feet.~~
- c. *Calculating lot coverage.* For purposes of calculating lot coverage, the footprint shall be calculated from the exterior face of exterior walls and the exterior face of exterior columns on the ground floor of all principal and accessory buildings, or portions thereof, including any projections ~~Internal courtyards, which are open to the sky, but which are substantially enclosed by the structure on three or more sides, shall be included in the lot coverage calculation. However, outdoor covered areas, such as, but not limited to, loggias, eyebrows, covered patios, pergolas, etc., that are open on at least two sides, and whether or not covered by an enclosed floor above. Any portion of the property open to the sky shall not be included in the lot coverage calculation, with the exception of internal courtyards, surrounded on 4 sides by enclosed areas. Roof overhangs and eyebrows shall not be included in the lot coverage calculation provided the projection from the building does not exceed 3 feet. When exceeding 3 feet in depth, the entire area of a roof overhang or eyebrow shall be included in the lot coverage calculation.~~

For purposes of this section, a pergola shall be defined as a garden walk or terrace formed by two rows of columns or posts with an open framework of beams and cross rafters over which plants may be trained.

- d. *Garages.* A maximum of 500 square feet of garage space shall not be counted in lot coverage if the area is limited to garage, storage and other non-habitable uses and the garage conforms to the following criteria:
 - 1. The garage is one story in height and not covered by any portion of enclosed floor area above. Enclosed floor area shall be as defined in section 114-1.

2. The vehicular entrance(s) of the garage is not part of the principal facade of the main house.
 3. The garage is constructed with a vehicular entrance(s) perpendicular to and not visible from the right-of-way, or the entrance(s) is set back a minimum of five feet from the principal facade of the main house when facing a right-of-way.
- (6) *Roof decks.* Roof decks shall not exceed six inches above the main roofline and shall not exceed a combined deck area of 25 percent of the enclosed floor area immediately one floor below, regardless of deck height. Swimming pools, spas, whirlpools, hot tubs and any other water feature shall be included in calculating the maximum roof deck areas. Roof decks shall be setback a minimum of ten feet from each side of the exterior outer walls, when located along a front or side elevation, and from the rear elevation for non-waterfront lots. The DRB or HPB may forego the required rear deck setback, in accordance with the applicable design review or appropriateness criteria.

* * *

SECTION 2. That Section 142-106, "Setback requirements for a single-family detached dwelling", is hereby amended, as follows:

142-106. - Setback requirements for a single-family detached dwelling.

The setback requirements for a single-family detached dwelling in the RS-1, RS-2, RS-3, RS-4 single-family residential districts are as follows:

- (1) *Front yards:* The minimum front yard setback requirement for these districts shall be 20 feet.
 - a. One-story structures may be located at the minimum front yard setback line.
 - b. ~~The second floor of t~~Two-story structures shall be set back a minimum of ten additional feet from the required front yard setback line.
 - c. ~~Up to 50 percent of the developable width of the second floor may encroach forward to the 20-foot setback line through staff level review. Portions that encroach forward in excess of 50 percent shall require historic preservation board or design review board approval in accordance with the applicable design review or appropriateness criteria.~~
 - d. At least ~~35~~ 50 percent of the required front yard area shall be sodded or landscaped pervious open space. With the exception of driveways and paths leading to the building, paving may not extend any closer than five feet to the front of the building.
- (2) *Side yards:*
 - a. The sum of the required side yards shall be at least 25 percent of the lot width.
 - b. Side, facing a street. Each required side yard facing a street shall be no less than ten percent of the lot width or 15 feet, whichever is greater. Also, at least ~~35~~ 50 percent of the required side yard area facing a street shall be sodded or landscaped pervious open space. With the exception of driveways and paths leading to the building, paving may not extend any closer than five feet to the front of the building.

- c. Interior sides. ~~For lots greater than 60 feet in width any one interior side yard shall have a minimum of ten percent of the lot width or seven and one-half ten feet, whichever is greater. For lots 60 feet in width or less any one interior side yard shall have a minimum of ten percent of the lot width or seven and one-half feet, whichever is greater~~
- d. ~~Two-story side elevations located parallel to a side property line shall not exceed 50 percent of the lot depth, or 60 feet, whichever is less, without incorporating additional open space, in excess of the minimum required side yard, directly adjacent to the required side yard. The additional open space shall be regular in shape, open to the sky from grade, and at least eight feet in depth, measured perpendicular from the minimum required side setback line. The square footage of the additional open space shall not be less than one percent of the lot area. The open space provided along a side elevation in accordance with this subsection, whether required or not, shall not be included in the lot coverage calculation provided that the combined depth of the open space, as measured from the required side setback line(s), is less than 30 percent of the maximum developable building width of the property, as measured from the interior setback lines, and the total open space provided does not exceed five percent of the lot area. Any portions of the interior side yard open space in excess of five percent of the lot area shall be included in the total lot coverage calculation. The elevation (height) of the open space provided shall not exceed the maximum permitted elevation height of the required side yard, and at least 75 percent of the required interior open space area shall be sodded or landscaped previous open space. The intent of this regulation shall be to break up long expanses of uninterrupted two-story volume at or near the required side yard setback line and exception from the minimum requirements of this provision may be granted only through historic preservation board, or design review board approval, as may be applicable, in accordance with the applicable design review or appropriateness criteria. Two-story interior and street side elevations exceeding 50 percent of the lot depth, or 60 feet, whichever is less, shall incorporate additional open space, open to the sky and in excess of the minimum required side yard, directly adjacent to the required side yard. This requirement shall apply to all portions of a building wall elevation regardless of whether a habitable floor is connected. The square footage of the additional open space shall not be less than one percent of the lot area. The elevation (height) of the open space provided shall not exceed the maximum permitted elevation height of the required side yard. An exception from the minimum requirements of this provision may be granted only through historic preservation board, or design review board approval, as may be applicable, in accordance with the applicable design review or appropriateness criteria.~~

SECTION 3. That Section 142-108, "Provisions for the demolition of single-family homes located outside of historic districts", is hereby amended, as follows:

Sec. 142-108. - Provisions for the demolition of single-family homes located outside of historic districts.

*

*

*

(g) *New construction requirements for properties containing a single-family home constructed prior to 1942.*

(1) In addition to the development regulations and area requirements of section 142-105, as well as section 118-252, of the land development regulations of the City Code, the following regulations shall apply in the event the owner proposes to fully or substantially demolish an architecturally significant single-family home constructed prior to 1942, inclusive of those portions of a structure fronting a street or waterway. In the event of a conflict between the provisions of section 142-105 and section 118-252, and the regulations below, the provisions herein shall control:

- a. The design review board (DRB) shall review and approve all new construction on the subject site, in accordance with the applicable criteria and requirements of chapter 118, article VI, section 118-251(a)1—12 of the land development regulations of the City Code.
- b. The DRB review of any new structure, in accordance with the requirements of chapter 118, article VI, shall include consideration of the scale, massing, building orientation and siting of the existing structure on the subject site, as well as the established building context within the immediate area.
- c. The overall lot coverage of proposed new buildings or structures shall not exceed the maximum limits set forth in section 142-105.
- d. Lot coverage requirements for a single story home. In the event a new home does not exceed one-story in height, the lot coverage shall not exceed 35 percent of the lot area; at the discretion of the DRB, the lot coverage may be increased to a maximum of ~~50~~ 45 percent of the lot area, if the DRB concludes that the one-story structure proposed results in a more contextually compatible new home. For purposes of this section, a one-story structure shall not exceed ~~48~~ 15 feet in height as measured from minimum flood elevation. A restrictive covenant, in a form acceptable to the city attorney, shall be required, ensuring, for the life of the structure, that a second story is not added.
- e. Lot coverage requirements for lot splits and lot aggregations. The above regulations shall also be a limitation on development in all lots within a single site that may be split into multiple lots or multiple lots that are aggregated into a single site, at a future date. When lots are aggregated, the greater of the footprint permitted by the lot coverage regulations, or the footprint of the larger home, shall apply.

(2) Regulations for additions to architecturally significant homes which are substantially retained and preserved. In addition to the development regulations and area requirements of section 142-105, of the land development regulations of the City Code, the following shall apply in the event an architecturally significant single-family home constructed prior to 1942 is substantially retained and preserved. In the event of a conflict between the provisions of section 142-105, 142-106 and section 118-252, and the regulations below, the provisions herein shall control:

- a. *Review criteria.* The proposed addition and modifications to the existing structure may be reviewed at the administrative level, provided that the review criteria in section 142-105 have been satisfied, as determined

by the planning director or designee. The design of any addition to the existing structure shall take into consideration the scale, massing, building orientation and siting of the original structure on the subject site.

- b. *Lot coverage.* The total lot coverage may be increased to, but shall not exceed 40 percent, and may be approved at the administrative level, provided that the review criteria in section 142-105 have been satisfied, as determined by the planning director or designee. In the event the lot coverage of the existing structure exceeds 35 [40] percent, no variance shall be required to retain and preserve the existing lot coverage and a second level addition shall be permitted, provided it does not exceed 60 percent of the footprint of the existing structure; no lot coverage variance shall be required for such addition.
- c. *Unit size.* The total unit size may be increased to, but shall not exceed 60 percent, and may be approved at the administrative level, provided that the review criteria in section 142-105 have been satisfied, as determined by the planning director or designee.
- d. *Heights for RS-3 and RS-4.* For lots zoned RS-4 with a minimum lot width of 60 feet, or lots zoned RS-3, the height for ground level additions not to exceed 50 percent of the lot coverage proposed, may be increased up to 26 feet for a flat roofed structure and 29 feet for a sloped roof structure (as measured to the mid-point of the slope) above the minimum required flood elevation, and may be approved at the administrative level, provided that the review criteria in section 142-105 have been satisfied, as determined by the planning director or designee.
- e. *Heights for RS-1 and RS-2.* For lots zoned RS-1 or RS-2, the height for ground level additions not to exceed 50 percent of the lot coverage proposed may be increased up to 30 feet for a flat roofed structure and 33 feet for a sloped roof structure (as measured to the mid-point of the slope) above the minimum required flood elevation, and may be approved at the administrative level, provided that the review criteria in section 142-105 have been satisfied, as determined by the planning director or designee.
- f. *Courtyards.* The minimum ~~courtyard~~ open space requirements specified in subsection 142-106(2)d. may be waived at the administrative level, provided that the review criteria in section 142-105 have been satisfied, as determined by the planning director or designee.
- g. *Front setback.* Two-story structures or the second floor may encroach forward to the 20-foot front setback line, and may be approved at the administrative level, provided that the review criteria in section 142-105 have been satisfied, as determined by the planning director or designee.
- ~~h. *Second floor requirements.* The maximum second floor area of 70 percent specified in subsection 142-105(b)(3)c may be waived at the administrative level, provided that the review criteria in section 142-105 have been satisfied, as determined by the planning director or designee.~~

SECTION 4. CODIFICATION.

It is the intention of the Mayor and City Commission of the City of Miami Beach, and it is hereby ordained that the provisions of this ordinance shall become and be made part of the Code of the City of Miami Beach, Florida. The sections of this ordinance may be renumbered or re-lettered to accomplish such intention, and, the word "ordinance" may be changed to "section", "article", or other appropriate word.

SECTION 5. REPEALER.

All ordinances or parts of ordinances in conflict herewith be and the same are hereby repealed.

SECTION 6. SEVERABILITY.

If any section, subsection, clause or provision of this Ordinance is held invalid, the remainder shall not be affected by such invalidity.

SECTION 7. EFFECTIVE DATE.

This Ordinance shall take effect ten days following adoption.

PASSED and ADOPTED this _____ day of _____, 2016.

MAYOR

ATTEST:

CITY CLERK

APPROVED AS TO
FORM AND LANGUAGE
& FOR EXECUTION

City Attorney _____
Date

First Reading:
Second Reading:

Verified by: _____
Thomas R. Mooney, AICP
Planning Director

Underscore denotes new language
~~Strikethrough~~ denotes removed language

F:\PLAN\PLB\2015\11-24-15\2298 - ORD - Single Family Home Amendments\SF Regs PB - ORD.docx

SINGLE FAMILY HOME FOCUS GROUP SUMMARY

Focus group meeting with architects (Aug. 26):

- Lot Coverage: general consensus that 3'-0" of exterior space and overhang is too small and limiting and will discourage the utilization of exterior space such as terraces, balconies and courtyard. 3' is not conducive to Tropical Architecture and will result in more "white box" architecture.
- Architects suggestion: the exterior areas are counted as a 1/3 or 25% instead of 100% towards lot coverage calculation. The incorporation of exterior spaces in the design should have incentives and not be penalized since these are design features that are common in Tropical architecture and should be encouraged. Additionally, they are design elements that respond to our tropical environment and are features that can add scale and reference to our historic architectural language.
- RS-4 and RS-1/RS-2 Zoning Districts should not be treated equally. Overall objections to further reductions to the lot coverage and unit size percentage.
- Architects felt that overall the ordinance is just another "bandage" since it does not address the real issues of Sea Level rise and its effect on compatibility with the existing buildings.
- Architects suggestion: The treatment of the base of the building—areas between sidewalk elevation and finish floor should be further studied. The ordinance should encourage breakaway walls, open areas designed for recreation or garages—similar to the Altos Del Mar section of the Code or look at Palm Beach cubic feet ordinance. Additionally, the ordinance does not encourage lower scale architecture. The ordinance should have incentives for designing one-level of living homes—whether it is raised homes or one-story homes and incentives for designing sustainable/green architecture.
- No objections to the greater setbacks since these transitional spaces/ edges are important in creating a visual transition between old construction and new construction.
- Review of Homes: Architects suggest a Single Family Residence Review Board made up of revolving practicing architects in Miami Beach to review ALL single-family homes. Regulations that prevent architects sitting on the board from practicing in the city is contradictory since they are not familiar with designing homes in Miami Beach.
- Conclusion
A more comprehensive study should be done of all single family home neighborhoods and how they will look in 30 years. A visual study should be done of how new construction is going to look next to historic homes—if existing homes are going to be raised how are they going to look? The study should include a time line of these changes. Architects suggest the City hire an outside consultant to create a Code that addresses all the practical issues such as Sea Level Rise, Historic Preservation/raising homes, etc. Further workshops with architects, home owners,

developers, etc. and with Building Department and Public Works staff as well as Planning staff since these issues are dictated by the Building Code and FEMA regulations.

Focus group meeting with Attorneys/Developers/Realtors (Aug. 27th):

- Setbacks: Greater setbacks will help with drainage and allow for some transition space between homes.
- Agreed with a greater setback for two-story homes, however suggested allowing a garage structure limited to one-story, 14'-0" measured from adjusted grade to be allowed 20'-0" from the front property line and limited to 500 SF.
- Miami Beach should review how Miami Shores treats front yards—transition between older homes and new construction.
- Lot Coverage: Overhangs and covered areas should not be restricted to 3'-0". They should be counted as a percentage similar to how Dade County calculates areas—33%. Allow for overall maximum lot coverage for enclosed space and maximum lot coverage for covered areas. Example, 25% enclosed space + 5% covered outdoor space. Overall consensus that 5% decrease to the lot coverage and unit size is too much and will negatively affect real estate prices.
- The treatment of the base of the building—areas between sidewalk elevation and finish floor should be further studied. The ordinance should encourage breakaway walls, open areas designed for recreation or garages. Group did not agree to an Architect Review Board for single-family homes.
- Also agreed that RS-4 dry lots should not have the same regulations as RS-1 waterfront lots. One size fits all development does not work. There should be different regulations for different neighborhoods.

Focus group meeting with Homeowners (Aug 26th)

- Massing: Site specific architecture as it relates to lot coverage, unit size and massing.
- Review of Homes: All demolition requests of homes should be reviewed and approved by a Board prior to approving a new construction.
- Homeowner also suggested incentives for single level homes. Suggestions: finish floor of the home be elevated approximately 8'-0" above grade with enclosed space above with floor to ceiling height of 12'-0". Area below finish floor is reserved for garage space and open area.
- Design Review Board should have more Guidelines for Compatibility.
- Unit Size: The unit size of a new home should not exceed the largest existing home within 4 homes in either direction or creating a sliding scale for homes based on neighborhoods and lot sizes.
- Lot Coverage: One homeowner suggested garages should count towards lot coverage and unit size regardless of its orientation. Additionally, the courtyard restrictions should be retained and one-story homes should be restricted to 40%.

- Open space requirement shall maintain the minimum depth, however all other regulations/restrictions should be eliminated.
- Design: Homes in all RS districts should have a similar requirement as the Altos Del Mar districts—each room be located so that it is adjacent to an outdoor space on at least two sides so natural light and air circulation is prevalent in every room from more than one direction.
- The front of the home should be designed to maintain a one-story volume and the greater—two story mass should be towards the rear.
- Homes—even those that do not require Design Review Board should be required to provide a contextual line drawing showing compatibility with the neighboring properties.
- Homeowners also agreed that RS-4 dry lots should not have the same regulations as RS-1 waterfront lots. One size fits all development does not work. There should be different regulations for different neighborhoods.
- Other residents believe we have not given the new code time to see results.
- Homeowner is worried too much emphasis is being placed on number and not enough on design.

Focus group meeting with Homeowners (Aug. 27th):

- Increase landscape areas in the front yards—current regulations allow for too much pavement, which affects drainage and water drainage. There should also be a landscape requirement for the entire site not just the front and rear yard—this will allow for more green spaces throughout the site.
- In agreement to create a Single-Family Review Board. They want more transparency in the approval process.
- Would like more review criteria for compatibility for new construction.
- They are amendable to calculating exterior covered spaces as a percentage towards lot coverage.
- Reestablish lot coverage restrictions when demolishing a pre-1942 Single-Family Home.
- Suggested a survey should be done of the existing single-family homes and determine which homes should be retained. Neighborhoods should have a ratio of old vs. new construction. The City should look into how they can facilitate applying for Flood Insurance Grants and Grants to raise structures.
- Homeowners that want to create a home with a larger first floor than second floor will prefer a larger lot coverage and lower unit size.
- Most of the compatibility issues being discussed appear to be related to style. The requirements for new construction—flood elevation, combined with the preferred style of today creates incompatible architecture.

JLM/TRM/MB/LC

F:\PLAN\PLB\2015\11-24-15\2298 - ORD - Single Family Home Amendments\PB SF Regs - Focus Group Summary.docx

SINGLE-FAMILY HOMES

NEW CONSTRUCTION

Field Study 08/04/15

'EXHIBIT A'

HOMES APPROVED UNDER NEW CODE

335 W 46TH STREET	COMPLETED
4322 NAUTILUS DRIVE	COMPLETED
345 W 37TH STREET	COMPLETED
1520 W 21ST STREET	COMPLETED
6411 ALLISON ROAD	UNDER CONSTRUCTION
2057 N BAY ROAD	UNDER CONSTRUCTION
5235 PINETREE DRIVE	UNDER CONSTRUCTION
3591 FLAMINGO DRIVE	UNDER CONSTRUCTION
6466 N BAY ROAD	UNDER CONSTRUCTION
4395 PINETREE DRIVE	UNDER CONSTRUCTION

NEW CODE

335 W 46TH STREET



RS-4

Lot coverage: 29.9% Unit size: 47.4%

Front Setback: 30'-0"

Height: 24'-0" / BFE (8.0' NGVD)

NEW CODE

4322 NAUTILUS DRIVE



RS-4

Lot coverage: 24.9% Unit size: 48.3%

Front Setback: 35'-0"

Height: 24'-0" / BFE (7.0' NGVD)

NEW CODE

345 W 37TH STREET



RS-4

Lot coverage: 29.9% Unit size: 49.8%

Front Setback: 30'-0"

Height: 24'-0" / BFE (8.0' NGVD)

NEW CODE

1520 W 21ST STREET



RS-4

Lot coverage: 30% Unit size: 50%

Front Setback: 41'-0" [to exterior wall]

Height: 24'-0" / BFE (8.0' NGVD)

NEW CODE

6411 ALLISON ROAD



RS-3

Lot coverage: 25% Unit size: 44.7%

Front Setback: 24'-0"

Height: 27'-0" / BFE (8.0' NGVD)

NEW CODE

2057 N BAY ROAD



RS-4

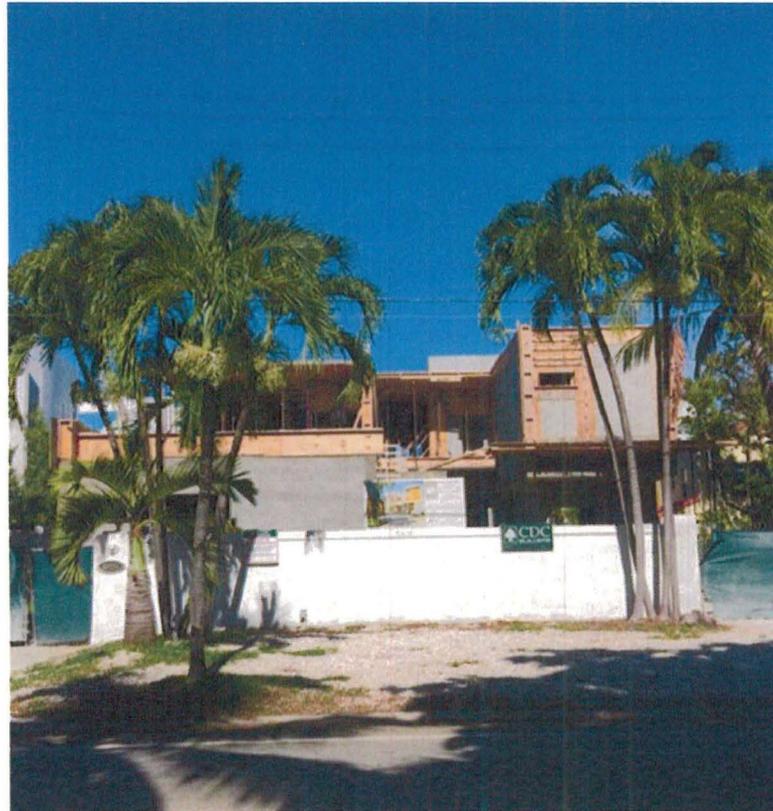
Lot coverage: 30% Unit size: 50%

Front Setback: 20'-5"

Height: 22'-8" / BFE (8.0' NGVD)

NEW CODE

5235 PINETREE DRIVE



RS-3

Lot coverage: 23.75% Unit size: 48%

Front Setback: 20'-0"

Height: 27'-6" / BFE (8.0' NGVD)

NEW CODE

3591 FLAMINGO DRIVE



RS-2

Lot coverage: 24.5% Unit size: 47.8%

Front Setback: 20'-0"

Height: 31'-2" / BFE (7.0' NGVD)

NEW CODE

6466 N BAY ROAD



RS-2

Lot coverage: 29.5% Unit size: 48%

Front Setback: 20'-3" [to garage]

Height: 28'-0" / BFE (8.0' NGVD)

**CITY OF MIAMI BEACH
PROPOSED SINGLE FAMILY HOME REGULATIONS**

PROJECT: 34 LA GORCE CIRCLE

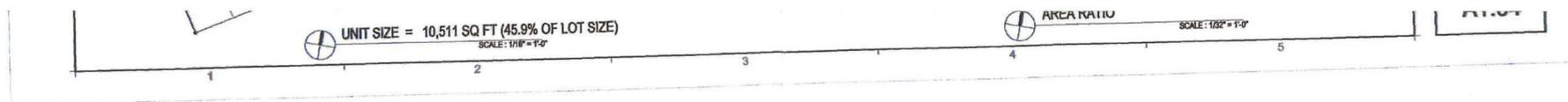
LOT AREA SF: 22,912

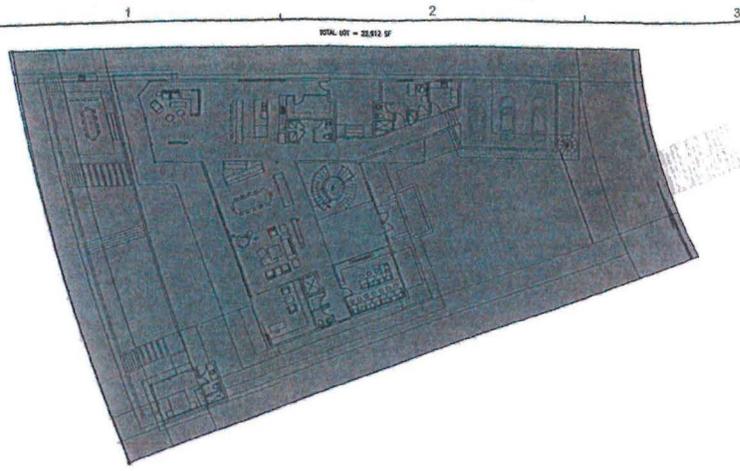
LOT COVERAGE:	
CURRENT CODE	
LOT COVERAGE	SF
MAX. 30%	6,874
PROVIDED: 24.9%	5,724
PROPOSED ORDINANCE	
LOT COVERAGE	SF
MAX 25%	5,728
PREVIOUSLY PROVIDED: 24.9%	5,724
A. TERRACE REAR*	900
B. TERRACE FRONT*	60
SUBTOTAL: 28.9%	6,624
DEFICIENCY:	896

UNIT SIZE	
CURRENT CODE	
UNIT SIZE	SF
MAX. 50%	11,456
PROVIDED: 45.8%	10,511
PROPOSED ORDINANCE	
UNIT SIZE	SF
MAX 45%	10310.4
PREVIOUSLY PROVIDED: 45.8%	10,511
C. BALCONY 2ND FLOOR*	-142
SUBTOTAL: 45.2%	10,369
DEFICIENCY:	59

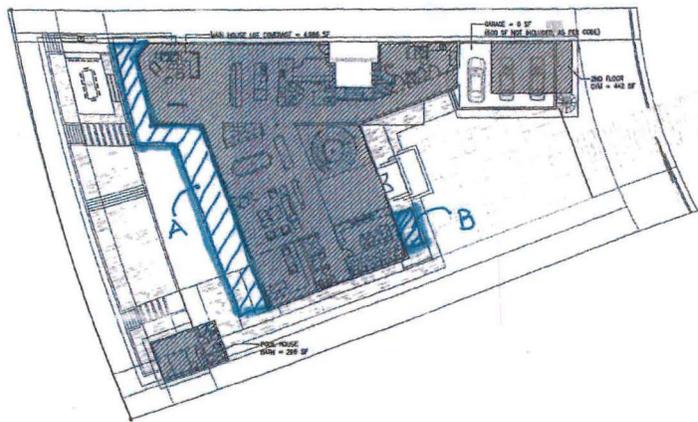
* Approximate areas

EXHIBIT B





NET LOT AREA = 22,912 SQFT
SCALE: 1/8" = 1'-0"



LOT COVERAGE = 5,724 SQ. FT (24.9%)
SCALE: 1/8" = 1'-0"

ZONING DATA

LA GORGE RESIDENCE
34 LA GORGE, MANA BEACH, FL 33139

	REQUIRED	PROVIDED
LOT AREA	18,000 SQ. FT.	22,912 SQ. FT.
MAX. UNIT SIZE (MAX. TOTAL LOT AREA)	11,458 SQ. FT.	10,511 SQ. FT.
MAX. LOT COVERAGE (MAX. TOTAL LOT AREA)	6,208 SQ. FT.	5,724 SQ. FT.
MAX. BUILDING HEIGHT	25'-0" (FLAT ROOF) 31'-0" (SLOPED ROOF)	25'-0"

UNIT SIZE	ALLOWED	PROVIDED
Ground Level		5,468 SQ. FT.
Second Level		4,953 SQ. FT.
Roof Level		53 SQ. FT.
TOTAL	11,458 SQ. FT.	10,511 SQ. FT.

AREA RATIO		AREA
GROUND LEVEL		5,468 SQ. FT.
SECOND LEVEL		4,560 SQ. FT.
ROOF LEVEL		1,140 SQ. FT.
		23% OF 2ND FL.

PROJECT DATA

LA GORGE RESIDENCE
34 LA GORGE, MANA BEACH, FL 33139

ZONING INFORMATION		
	REQUIRED	PROVIDED
ZONING SUBDIVISION	RS-2	
FLOOD ELEVATION	8'-0"	8'-0"

BUILDING INFORMATION		
CONSTRUCTION TYPE = TYPE		
TYPE OF OCCUPANCY = 8-2 (SINGLE FAMILY RESIDENTIAL)		

SETBACK REQUIREMENTS		
	REQUIRED	PROVIDED
MIN. RESIDENCE		
FRONT	20'	20'-4"
INTERIOR SIDE - NORTH**	10'-6"	10'-6"
INTERIOR SIDE - SOUTH**	15'-8"	15'-9"
REAR - 15% OF LOT DEPTH (20' MIN & 50' MAX)	30'	37'-10"
**SUM OF INTERIOR FEEDBACKS OF LOT WIDTH, LOT WIDTH OR 10' TOTAL SETBACK		

ACCESSORY BUILDING		
	REQUIRED	PROVIDED
INTERIOR SIDE	7'-8"	7'-8"
REAR	15'	15'

SIDE YARD OPEN SPACE CALCULATIONS:
 REQUIRED OPEN SPACE AREA: 229 SF
 REQUIRED MIN OPEN SPACE AREA:
 EQUALS TO 1% OF TOTAL LOT: 22,912 SF x 1% = 229 SF
 PROVIDED LANDSCAPE AREA: 248 SF (108%)



FRONT YARD LANDSCAPE CALCULATIONS:
 REQUIRED FRONT YARD: 1,470 SF
 MINIMUM LANDSCAPE AREA IN FRONT YARD:
 (35% PER 142.105 (a)(2)(i) OF ZONING CODE): 515 SF
 PROVIDED LANDSCAPE AREA IN FRONT YARD: 1,170 SF (79.6%)

REAR YARD LANDSCAPING CALCULATIONS:
 REQUIRED REAR YARD AREA: 4,011 SF
 REQUIRED MIN LANDSCAPE AREA:
 EQUALS TO 70% OF REAR YARD: 4,011 SF x 70% = 2,807 SF
 PROVIDED LANDSCAPE AREA: 2,994 SF (74.6%)

FRONT & REAR YARD LANDSCAPE REQUIREMENTS DIAGRAM
SCALE: 1/8" = 1'-0"

REVISIONS / SUBMISSIONS

1446

LA GORGE
34 LA GORGE CIRCLE
MANA BEACH, FL 33139

ZONING DATA

Lic. # AR0012578

ARCHITECTURE
PLANNING
INTERIOR DESIGN

ANA ANSO NCARB
3000 N. W. 10TH AVE
SUITE 100
MIAMI, FL 33136
WWW.KOBIKARP.COM

KOBI KARP

DESIGNED BY:
CHECKED BY:
DATE:

A1.03

**CITY OF MIAMI BEACH
PROPOSED SINGLE FAMILY HOME REGULATIONS**

PROJECT: 2125 LAKE AVENUE

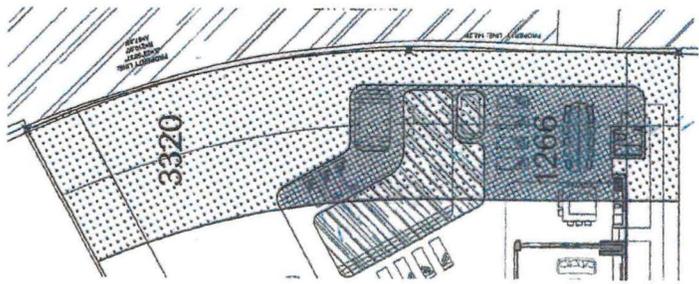
LOT AREA SF:

20,028

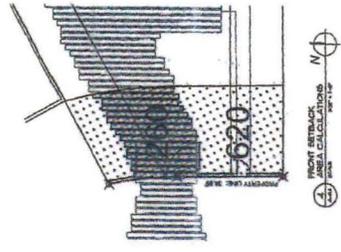
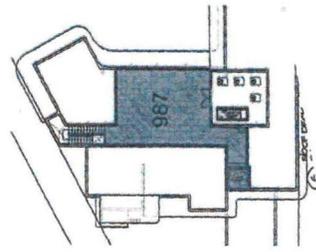
LOT COVERAGE:	
CURRENT CODE	
LOT COVERAGE	SF
MAX. 30%	6,008
PROVIDED: 27.4%	5,483
PROPOSED ORDINANCE	
LOT COVERAGE	SF
MAX 25%	5,007
PREVIOUSLY PROVIDED: 27.4%	5,483
A. TERRACE FRONT*	36
B. TERRACE REAR*	90
C. TERRACE REAR*	578
D. COURTYARD REAR*	-328
SUBTOTAL: 29.2%	5,859
DEFICIENCY:	852

UNIT SIZE	
CURRENT CODE	
UNIT SIZE	SF
MAX. 50%	10,014
PROVIDED: 44.6%	8,938
PROPOSED ORDINANCE	
UNIT SIZE	SF
MAX 45%	9012.6
PREVIOUSLY PROVIDED: 44.6%	8,938
A. BALCONY 2ND FLOOR*	-84
SUBTOTAL: 44.2%	8,854
DEFICIENCY:	-159

* Approximate areas



DATE: 07/20/15
DRAWN BY: [unintelligible]
CHECKED BY: [unintelligible]
REVISIONS: [unintelligible]



FRONT SETBACK CALCULATIONS

AREA	660 S.F.	100%
IMPERVIOUS AREA	260 S.F.	21%
LANDSCAPE AREA	610 S.F.	79%

REAR SETBACK CALCULATIONS

AREA	4380 S.F.	100%
IMPERVIOUS AREA	1386 S.F.	31%
LANDSCAPE / POOL AREA	3294 S.F.	75%

SITE DATA

EXISTING LOT SIZE: 10,028 S.F. (230' x 435')

BLDG LOT COVERAGE:

MAIN HOUSE	5,238 S.F.
CABANA	377 S.F.
GARAGE (172'-10'0")	3,549 S.F.
TOTAL BLDG LOT COVERAGE	9,164 S.F. (71.9%)

BUILDING DATA

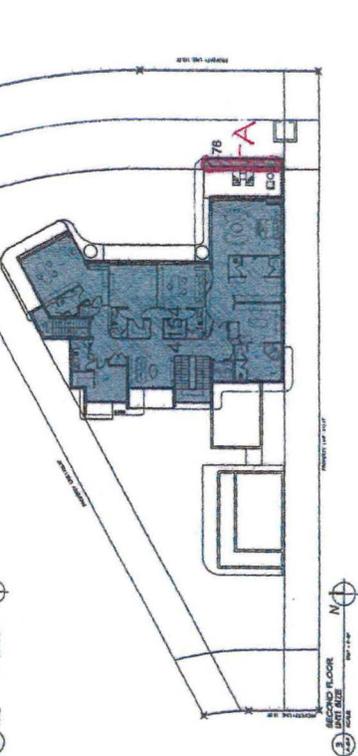
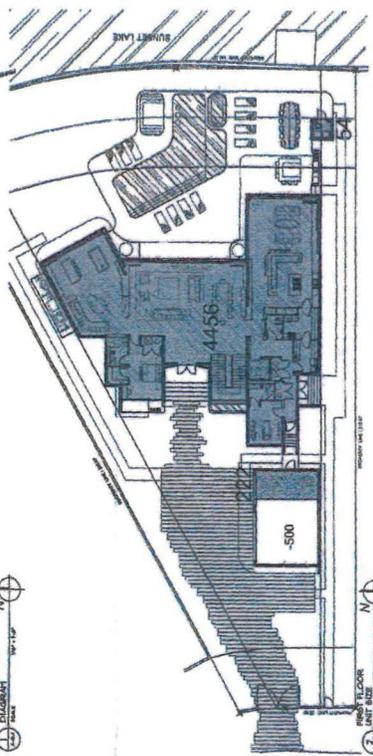
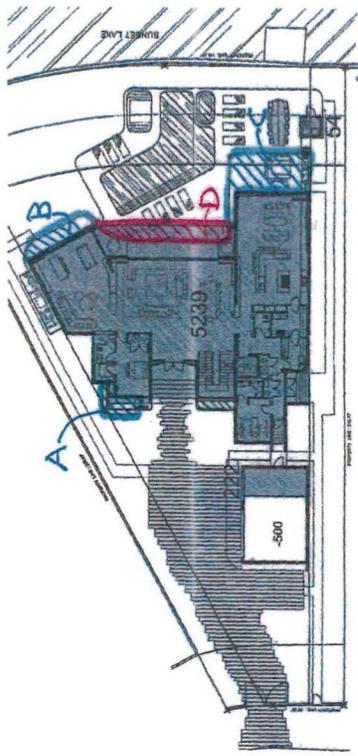
MAIN HOUSE	4,856 S.F.
SECOND FLOOR (AC)	424 S.F.
TOTAL (AC)	5,280 S.F.
CABANA	345 S.F.
GARAGE (72' S.F. - 500 S.F.)	272 S.F.
OVERHANG	16 S.F.
TOTAL (NON AC)	392 S.F.
TOTAL UNIT SIZE (AC + NON AC)	5,672 S.F. (44.1%)

FLOOR RATIO PERCENTAGE

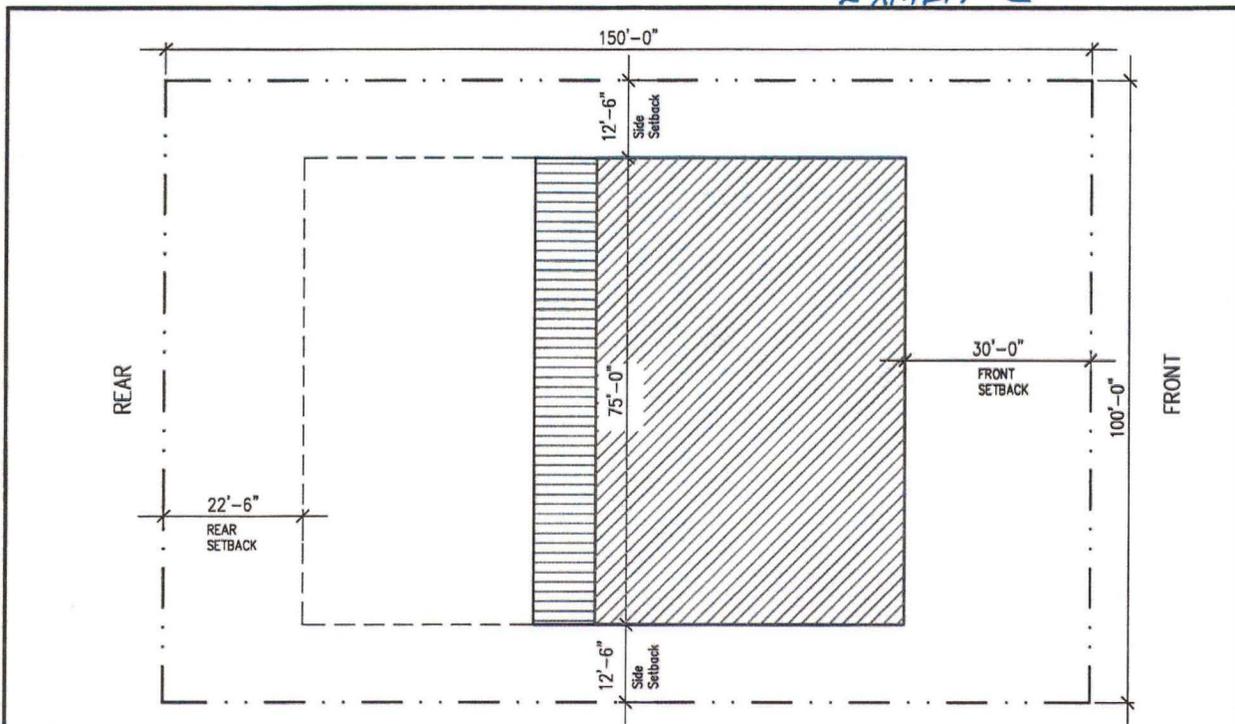
FIRST FLOOR	4,856 S.F.
MAIN HOUSE	4,856 S.F.
TOTAL FIRST FLOOR	5,176 S.F.
SECOND FLOOR	424 S.F.
MAIN HOUSE	424 S.F.
TOTAL SECOND FLOOR	424 S.F.
TOTAL	6,074

ROOF DECK PERCENTAGE

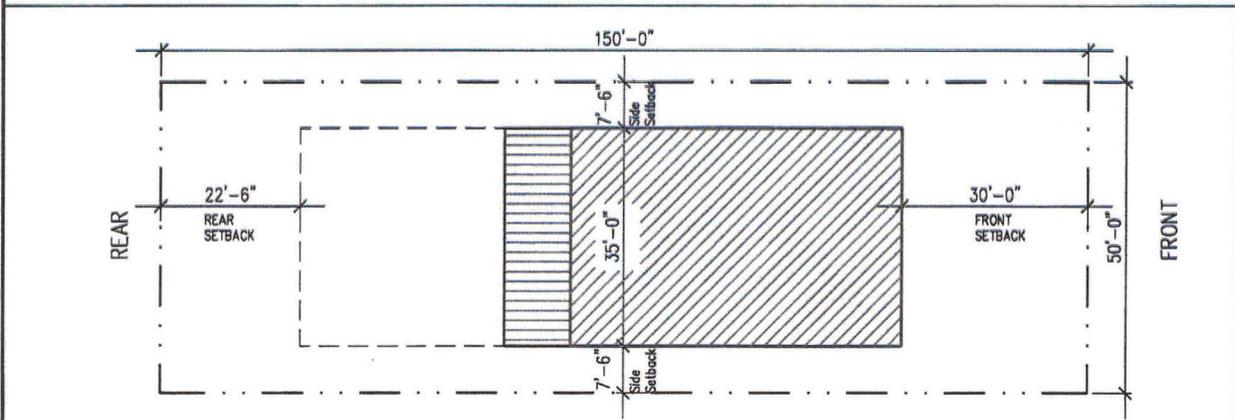
AREA OF ROOF DECK	587 S.F.
TOTAL SECOND FLOOR	424 S.F.
PERCENTAGE OF SECOND FLOOR	23.8%



'EXHIBIT C'



LOT : 100' x 150' = 15,000 SF
 MAX LOT COVERAGE (25%) = 3,750 SF
 MAX LOT COVERAGE (30%) = 4,500 SF
 MAX UNIT SIZE (45%) = 6,750 SF
 MAX UNIT SIZE (50%) = 7,500 SF



LOT : 100' x 50' = 7,500 SF
 MAX LOT COVERAGE (25%) = 1,875 SF
 MAX LOT COVERAGE (30%) = 2,250 SF
 MAX UNIT SIZE (45%) = 3,375 SF
 MAX UNIT SIZE (50%) = 3,750 SF

MIAMI BEACH
 Planning Department

Single Family Home Ordinance Amendment

Lot Coverage - Unit Size
 Existing and Proposed Lot Coverage and Unit Size calculations

'EXHIBIT D'

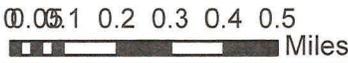
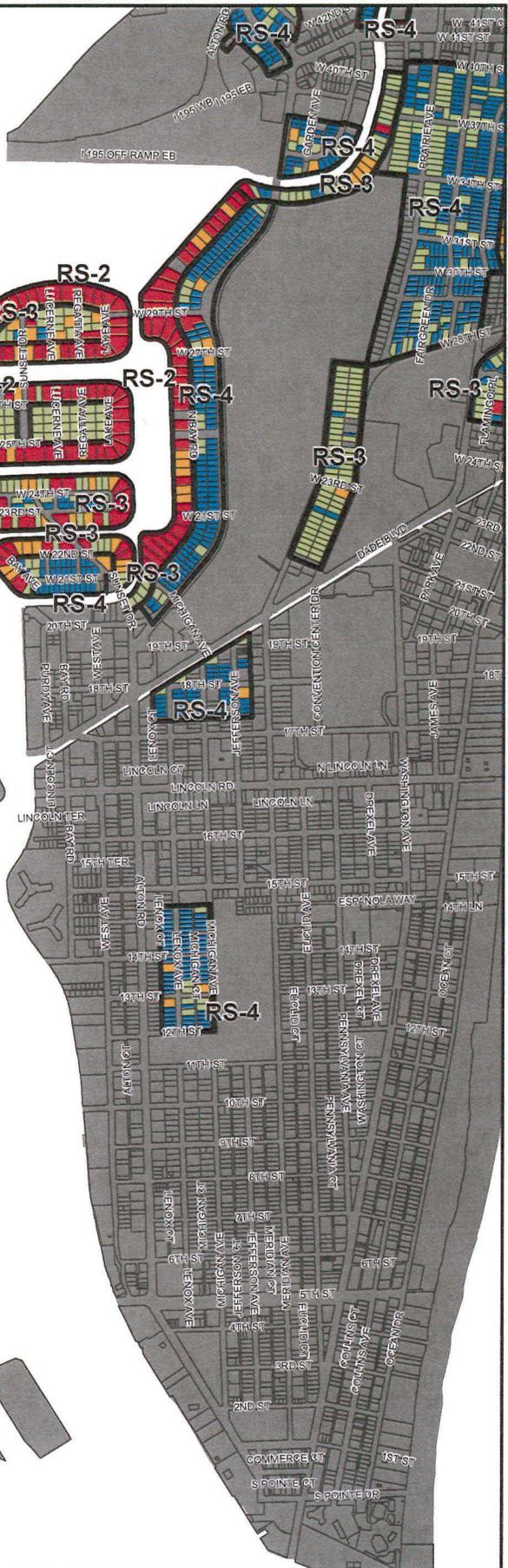
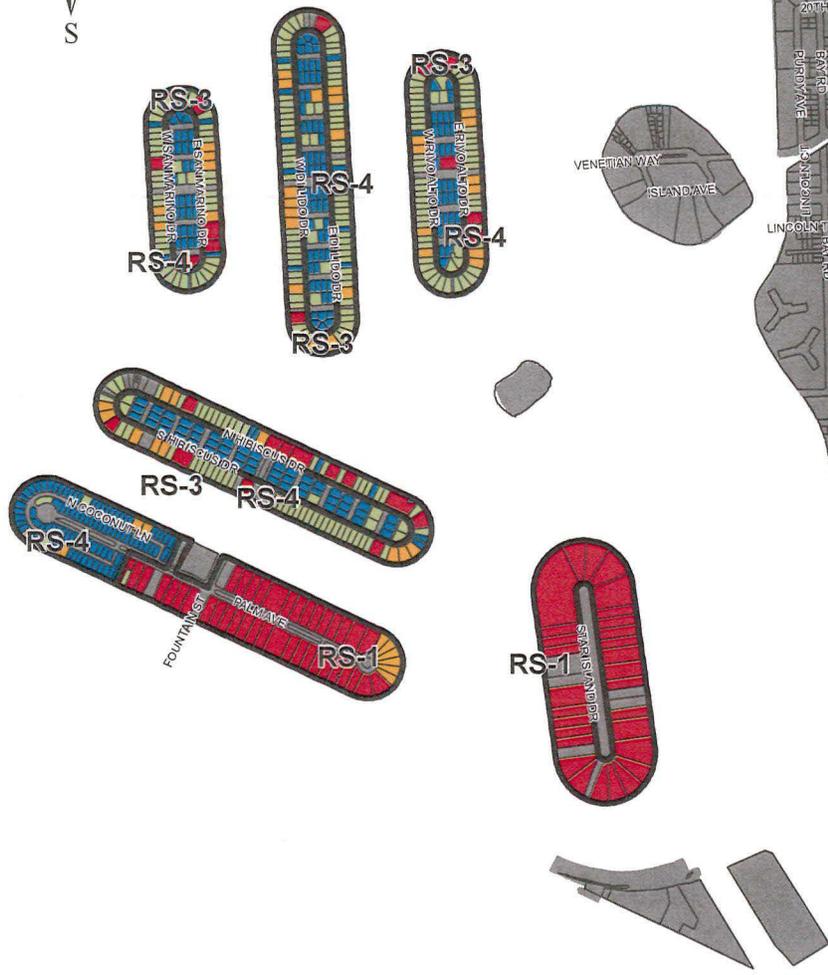
MIAMI BEACH

Single Family Homes

Lot Sizes

Legend

- 10,000 SF or less - 2,878 parcels
- 10,001 SF to 15,000 SF - 1,248 parcels
- 15,001 SF to 20,000 SF - 299 parcels
- 20,000 SF or greater - 437 parcels



MIAMI BEACH

Single Family Homes

Lot Sizes

Legend

- 10,000 SF or less - 2,878 parcels
- 10,001 SF to 15,000 SF - 1,248 parcels
- 15,001 SF to 20,000 SF - 299 parcels
- 20,000 SF or greater - 437 parcels

